

FLOOR PLAN - EXISTING / DEMOLITION  
SCALE 1:100

**LEGEND FLOOR PLAN EXISTING / DEMOLITION**  
REFER CIVIL ENGINEERS DOCUMENTS FOR ALL SITE LEVELS & SITE DRAINAGE

- EXISTING WALLS
- TO BE DEMOLISHED
- INDICATIVE PROTECTIVE FENCING DURING CONSTRUCTION

**SCOPE OF WORKS**  
THE CONTRACTOR IS TO CARRY OUT ALL WORKS INDICATED ON THE DRAWINGS, NOTES AND CONTRACT DOCUMENTS

**SERVICES**  
EXISTING SERVICES WARNING  
THE CONTRACTOR SHALL LOCATE ALL SERVICES AND CONFIRM WITH RELEVANT CONSULTANT TO EITHER RELOCATE OR TERMINATE EXISTING SERVICES AS REQUIRED TO ENSURE CONNECTIONS TO OTHER BUILDINGS ARE MAINTAINED DURING THE ENTIRE DEMOLITION PERIOD

**HAZARDOUS MATERIALS WARNING:**  
THE EXISTING BUILDING IS LIKELY TO CONTAIN MATERIALS CONTAINING ASBESTOS INCLUDING CEMENT WALL CLADDING, INSULATION/LAGGING AND FLOORING. WHERE ASBESTOS MATERIALS ARE FOUND TO BE PRESENT THE CONTRACTOR SHALL TAKE SAMPLES FOR TESTING BY A LABORATORY ACCREDITED BY THE NEW ZEALAND ACCREDITED LABORATORY COUNCIL. MATERIALS CONTAINING ASBESTOS ARE TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE NZDAA GUIDELINES AND NZBC F5/A1.

**DEMOLITION NOTES:**

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL CONTRACT DRAWINGS; CONTRACTOR TO OBTAIN ALL NECESSARY AUTHORITY PERMITS TO CARRY OUT ALL WORKS ASSOCIATED WITH THE DEMOLITION WORKS

THE CONTRACTOR SHALL PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORKS, INSPECT THE SITE AND PROVIDE CONSTRUCTION / DEMOLITION HOARDINGS / PROTECTIVE FENCES IN ACCORDANCE WITH THE RELEVANT LOCAL AUTHORITIES REQUIREMENTS IN LOCATIONS AS INDICATED ON THE ARCHITECTURAL SITE PLAN OR AS DETERMINED ON SITE

PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL ENSURE THAT ALL SERVICES WITHIN THE WORKS AREA (SUCH AS GAS, WATER, ELECTRICITY, COMMUNICATIONS AND DATA) HAVE BEEN LOCATED AND DIVERTED AS REQUIRED OR TERMINATED AND SEALED WITHIN 0.5M OF THE BOUNDARY IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS, OR RE-ROUTED AS SPECIFIED AND SHOWN ON THE ARCHITECTURAL DRAWINGS AND DOCUMENTATION. UNKNOWN SERVICES WHICH ARE DISCOVERED DURING DEMOLITION WORKS SHALL BE TAGGED AND THE PROJECT MANAGER NOTIFIED

ALL DEMOLITION IS TO BE IN ACCORDANCE WITH THE NEW ZEALAND DEMOLITION AND ASBESTOS ASSOCIATION (NZDAA) BEST PRACTICE GUIDELINES. THE GUIDELINES ARE AVAILABLE FROM THE NZDAA WEBSITE.

UNDER NO CIRCUMSTANCES SHALL ANY FIRES BE LIT ON THE SITE TO DISPOSE OF UNWANTED DEMOLISHED MATERIALS

ALL DEBRIS SHALL BE REMOVED FROM SITE AT THE EARLIEST POSSIBLE CONVENIENCE. ALL SUCH DEBRIS SHALL BECOME THE RESPONSIBILITY OF THE DEMOLITION / BUILDING CONTRACTOR. NO SUCH MATERIAL SHALL BE USED FOR FILL OR WITH THE NEW WORKS UNLESS SPECIFIED ON THE DRAWINGS AS "TO BE RE-USED" AND DIRECTED BY THE ARCHITECT. SUCH ITEMS SHALL BE STORED OFF THE GROUND AND COVERED

DEMOLITION WORKS SHALL BE CARRIED OUT AT SUCH TIMES AS DEEMED APPROPRIATE AS TO ENSURE MINIMAL DISRUPTION TO EXISTING SERVICES AND ADJOINING PROPERTIES OR PERSONS NO DEMOLITION WORKS SHALL BE CARRIED OUT DURING OUT OF BUSINESS HOURS OR ON SUNDAYS WITH THE WRITTEN CONSENT OF THE LOCAL RELEVANT AUTHORITY

DURING DEMOLITION WORKS DUST SHALL BE KEPT TO A MINIMUM AS THE CONTRACTOR SHALL WET DOWN SUCH WORKS AS TO MINIMIZE THE CREATION OF DUST, AND CLEAN ALL ADJACENT EFFECTED PUBLIC ROADS AND FOOTPATHS ON A DAILY BASIS

ALL MATERIALS WHICH INCLUDE BUILDING AND EXCAVATED SOIL, CLAY OR ROCK REMOVED FROM THE SITE DURING DEMOLITION WORKS SHALL BECOME THE RESPONSIBILITY OF THE DEMOLITION / BUILDING CONTRACTOR AND SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS

REMOVAL OF EXISTING VEGETATION WITHIN THE BUILDING ZONE SHALL MEAN REMOVAL OF ALL ABOVE AND BELOW GROUND VEGETATION INCLUDING ROOTS, ROOT BALLS AND THE LIKE

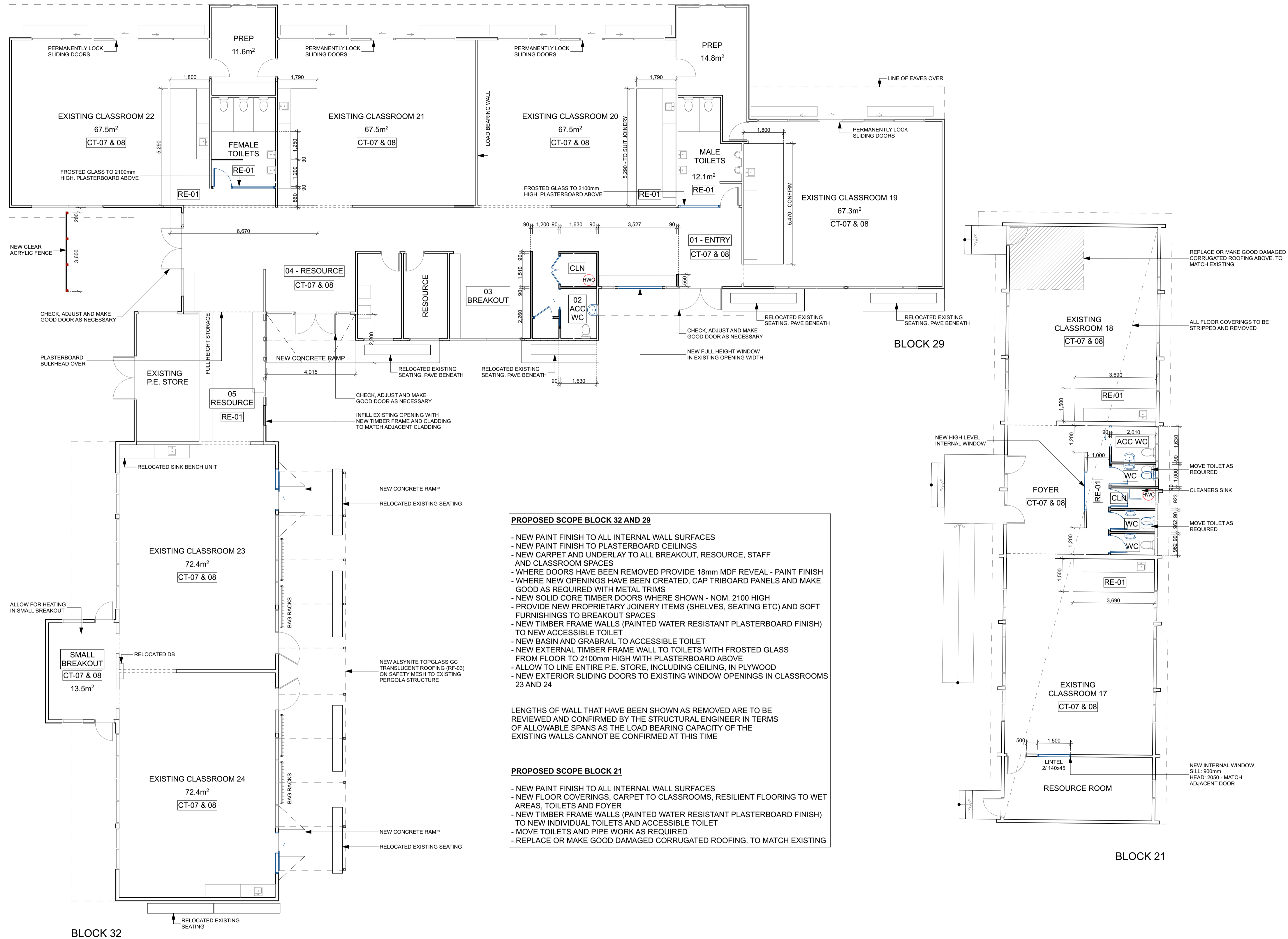
**NOTES FLOOR PLAN PROPOSED**

1. ALL TIMBER TO BE H1.2 UNLESS NOTED OTHERWISE.
2. TOP AND BOTTOM PLATES OF EXTERIOR WALL TO BE H3.2 CCA.
3. RETREAT CUT ENDS + FACES OF TREATED TIMBER.
4. ALL FIXINGS TO TREATED TIMBER TO BE S/S.
5. ALL FIXINGS TO ROOF AND POWDERCOATED ALUMINIUM TO BE CLASS 4 GALVANIZED.
6. ALL (POWDERCOATED) ALUMINIUM FLASHINGS TO BE PRE DRILLED AND POWDER COATED TO MIN. 100mic. 3M ALL WEATHER FLASHING TAPE WITH A MINIMUM COVER OF 100mm OVER EVERY EDGE.
8. REFER TO STRUCTURAL ENGINEER'S DOCUMENTATION FOR STRUCTURAL DETAILS.
9. ALL DETAILS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DOCUMENTATION AND MANUFACTURES' DOCUMENTATION.
10. ALL DETAILS SHOULD BE READ IN CONJUNCTION WITH THE PRODUCT MANUFACTURES' DETAILS AND CONSTRUCTION OF ELEMENTS MUST BE IN STRICT ACCORDANCE WITH THE MANUFACTURES' DOCUMENTATION. THE ARCHITECT MUST BE CONSULTED IMMEDIATELY WERE ANY INFORMATION DEPICTED IN THESE DETAILS CONFLICTS WITH THE MANUFACTURES' DOCUMENTATION IN ANYWAY.

**LEGEND FLOOR PLAN**

- EXISTING WALLS
- PROPOSED NEW WALLS

ALL STRUCTURAL ELEMENTS INCLUDING, BUT NOT LIMITED TO ALL STEEL, POSTS/COLUMNS, BEAMS, WALLS HIGHER THAN 3m, LINTELS OUTSIDE OF NZS3604:2011, PORTALS & PURLINS, REFER TO STRUCTURAL ENGINEERS DRAWINGS & SPECIFICATIONS.



**PROPOSED SCOPE BLOCK 32 AND 29**

- NEW PAINT FINISH TO ALL INTERNAL WALL SURFACES
- NEW PAINT FINISH TO PLASTERBOARD CEILINGS
- NEW CARPET AND UNDERLAY TO ALL BREAKOUT, RESOURCE, STAFF AND CLASSROOM SPACES
- WHERE DOORS HAVE BEEN REMOVED PROVIDE 18mm MDF REVEAL - PAINT FINISH
- WHERE NEW OPENINGS HAVE BEEN CREATED, CAP TRIBOARD PANELS AND MAKE GOOD AS REQUIRED WITH METAL TRIMS
- NEW SOLID CORE TIMBER DOORS WHERE SHOWN - NOM. 2100 HIGH
- PROVIDE NEW PROPRIETARY JOINERY ITEMS (SHELVES, SEATING ETC) AND SOFT FURNISHINGS TO BREAKOUT SPACES
- NEW TIMBER FRAME WALLS (PAINTED WATER RESISTANT PLASTERBOARD FINISH) TO NEW ACCESSIBLE TOILET
- NEW BASIN AND GRABRAIL TO ACCESSIBLE TOILET
- NEW EXTERNAL TIMBER FRAME WALL TO TOILETS WITH FROSTED GLASS FROM FLOOR TO 2100mm HIGH WITH PLASTERBOARD ABOVE
- ALLOW TO LINE ENTIRE P.E. STORE, INCLUDING CEILING, IN PLYWOOD
- NEW EXTERIOR SLIDING DOORS TO EXISTING WINDOW OPENINGS IN CLASSROOMS 23 AND 24

LENGTHS OF WALL THAT HAVE BEEN SHOWN AS REMOVED ARE TO BE REVIEWED AND CONFIRMED BY THE STRUCTURAL ENGINEER IN TERMS OF ALLOWABLE SPANS AS THE LOAD BEARING CAPACITY OF THE EXISTING WALLS CANNOT BE CONFIRMED AT THIS TIME

**PROPOSED SCOPE BLOCK 21**

- NEW PAINT FINISH TO ALL INTERNAL WALL SURFACES
- NEW FLOOR COVERINGS, CARPET TO CLASSROOMS, RESILIENT FLOORING TO WET AREAS, TOILETS AND FOYER
- NEW TIMBER FRAME WALLS (PAINTED WATER RESISTANT PLASTERBOARD FINISH) TO NEW INDIVIDUAL TOILETS AND ACCESSIBLE TOILET
- MOVE TOILETS AND PIPE WORK AS REQUIRED
- REPLACE OR MAKE GOOD DAMAGED CORRUGATED ROOFING. TO MATCH EXISTING

**FLOOR PLAN - PROPOSED**  
SCALE 1:100

**BALDASSO CORTESE P/L**  
ABN 71 445 953 215  
188 MONTREAL STREET  
CBD, CHRISTCHURCH  
NEW ZEALAND 8024  
(T) +61 3 9417 7555  
(F) +61 3 9417 3500  
WWW.BCARCH.NET

**DEVELOPED DESIGN**

**DISCLAIMER**  
THE SUBJECT OF THIS DOCUMENTATION AND THEREFORE PROVIDES NO WARRANTY AS TO THE RELIABILITY OR ACCURACY OF THIS DOCUMENT AND ASSUMES NO RESPONSIBILITY FOR LOSS TO ANY PARTY ARISING IN ANYWAY FROM OR IN CONNECTION WITH THE USE OR OBSERVANCE OF THE CONTENTS HEREIN CONTAINED INCLUDING RESPONSIBILITY BY REASON OF NEGLIGENCE BY BALDASSO CORTESE P/L OR BY ANY OF ITS AGENTS OR EMPLOYEES.  
THE BUILDER SHALL CHECK A VAST ALL DIMENSIONS, NOTATIONS AND THE USE ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. THE BUILDER SHALL NOTIFY THE ARCHITECT IN WRITING, IMMEDIATELY FOR RECTIFICATION, THIS OR ANY OTHER DRAWING FOR THIS PROJECT SHALL NOT BE SCALE REFER TO THE ARCHITECT FOR ANY CLARIFICATION. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE ARCHITECT. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MOVED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. THIS DRAWING IS COPYRIGHT PROTECTED. © 2016



**PROJECT TITLE**  
BLOCK 32/29 AND 21; KAIAPOI BOROUGH SCHOOL  
20 HILTON STREET, KAIAPOI

**CLIENT**  
MINISTRY OF EDUCATION

**DRAWING TITLE**  
FLOOR PLAN - PROPOSED

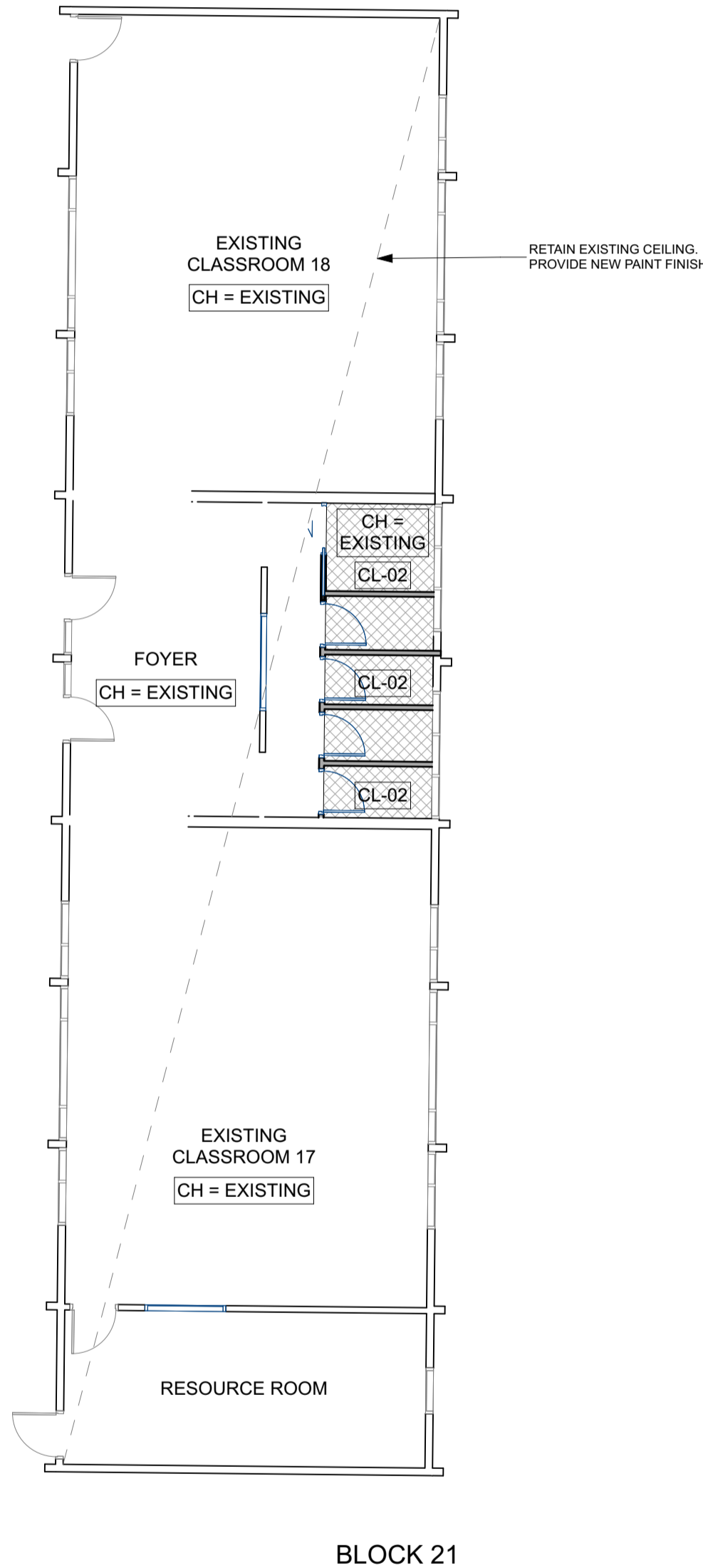
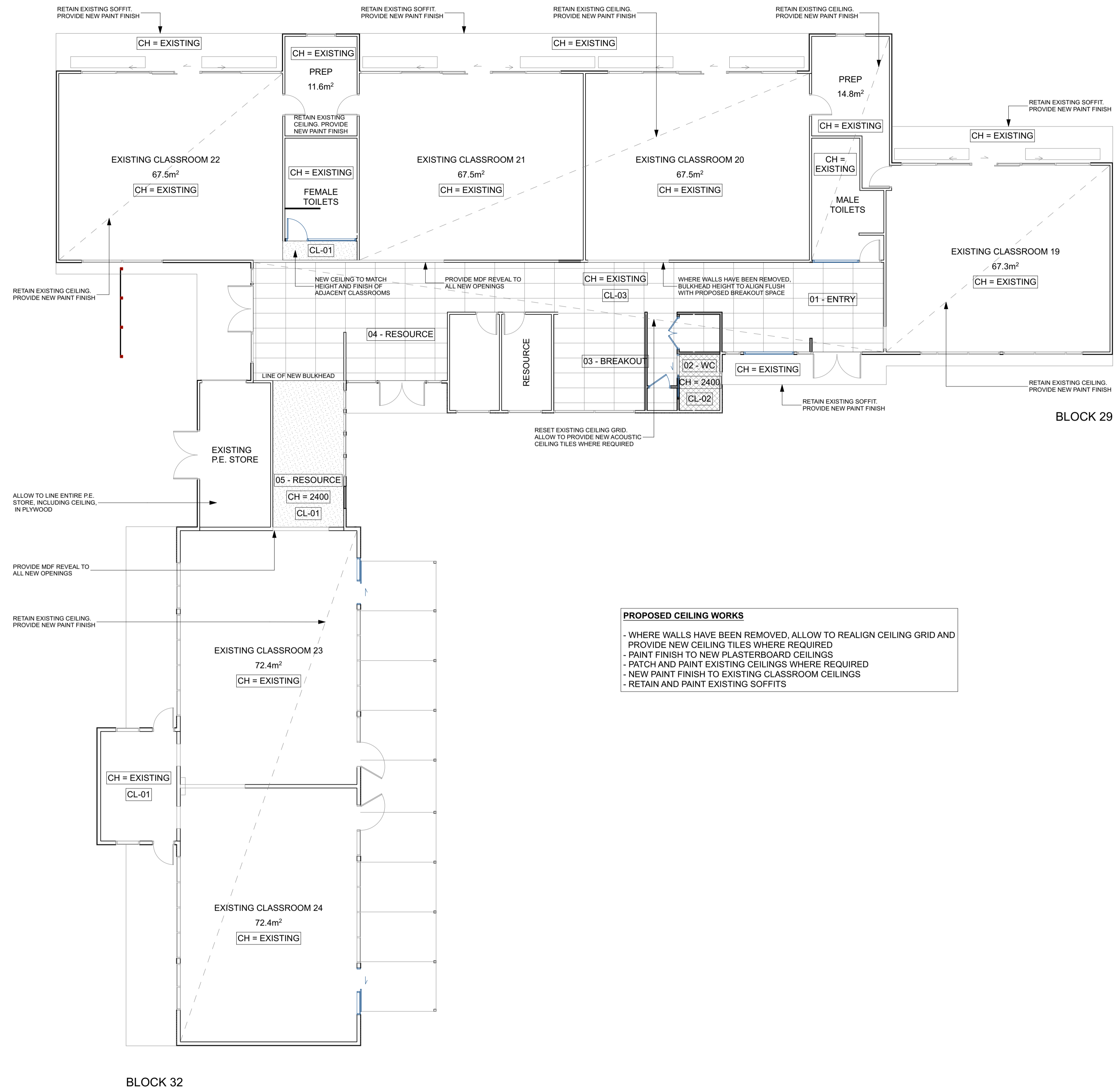
**FILE NO**

<b>NORTH</b>	<b>DATE</b> 09.06.2016	<b>PROJECT NO</b> 20152061
	<b>DRAWN</b> SL	<b>DRAWING NO</b> DDR-1.03
<b>SCALE</b> 1:100@A1	<b>CHECKED</b> -	<b>REVISION</b> -

**NOTES REFLECTED CEILING PLAN**  
 REFER TO CIVIL ENGINEER'S DOCUMENTATION FOR ALL SITE SERVICES.  
 REFER TO STRUCTURAL ENGINEER'S DOCUMENTATION FOR ALL STRUCTURAL ELEMENTS.  
 REFER TO ELECTRICAL ENGINEER'S DOCUMENTATION FOR LIGHTING.  
 REFER TO SPECIFICATION FOR MORE INFORMATION ON SPECIFIC ITEMS & REQUIREMENTS.

**LEGEND REFLECTED CEILING PLAN**

	CL-01 FLUSH FINISH PLASTERBOARD PAINT FINISH
	CL-02 FLUSH FINISH WET AREA PLASTERBOARD - PAINT FINISH
	CL-03 ACOUSTIC CEILING TILES PREFINISHED - MATCH EXISTING
CH=2400	CEILING HEIGHT ABOVE SLAB LEVEL
CH=RAKED	CEILING RAKED



**PROPOSED CEILING WORKS**

- WHERE WALLS HAVE BEEN REMOVED, ALLOW TO REALIGN CEILING GRID AND PROVIDE NEW CEILING TILES WHERE REQUIRED
- PAINT FINISH TO NEW PLASTERBOARD CEILINGS
- PATCH AND PAINT EXISTING CEILINGS WHERE REQUIRED
- NEW PAINT FINISH TO EXISTING CLASSROOM CEILINGS
- RETAIN AND PAINT EXISTING SOFFITS

**REFLECTED CEILING PLAN PROPOSED**  
 SCALE 1:100